



Addendum #2

Bid Opportunity: 24-7536-RFT - Margaret Ave. Public School -HVAC Upgrades,

Closing Date: Monday, May 13, 2024 2:00 PM

The following issued by the Board shall form part of the Bid / Proposal Solicitation document. The revisions and additions noted herein along with any attachments shall be read in conjunction with all other related documents. This Addendum shall, take precedence over the previously issued documents where differences occur. Receipt of this addendum must be acknowledged in the Bidding System, bids&tenders.

If you have already submitted a Bid / Proposal, it will be automatically withdrawn as a result of this addendum. You must resubmit the Bid / Proposal acknowledging all addenda and revising your Bid / Proposal to comply with all addenda.

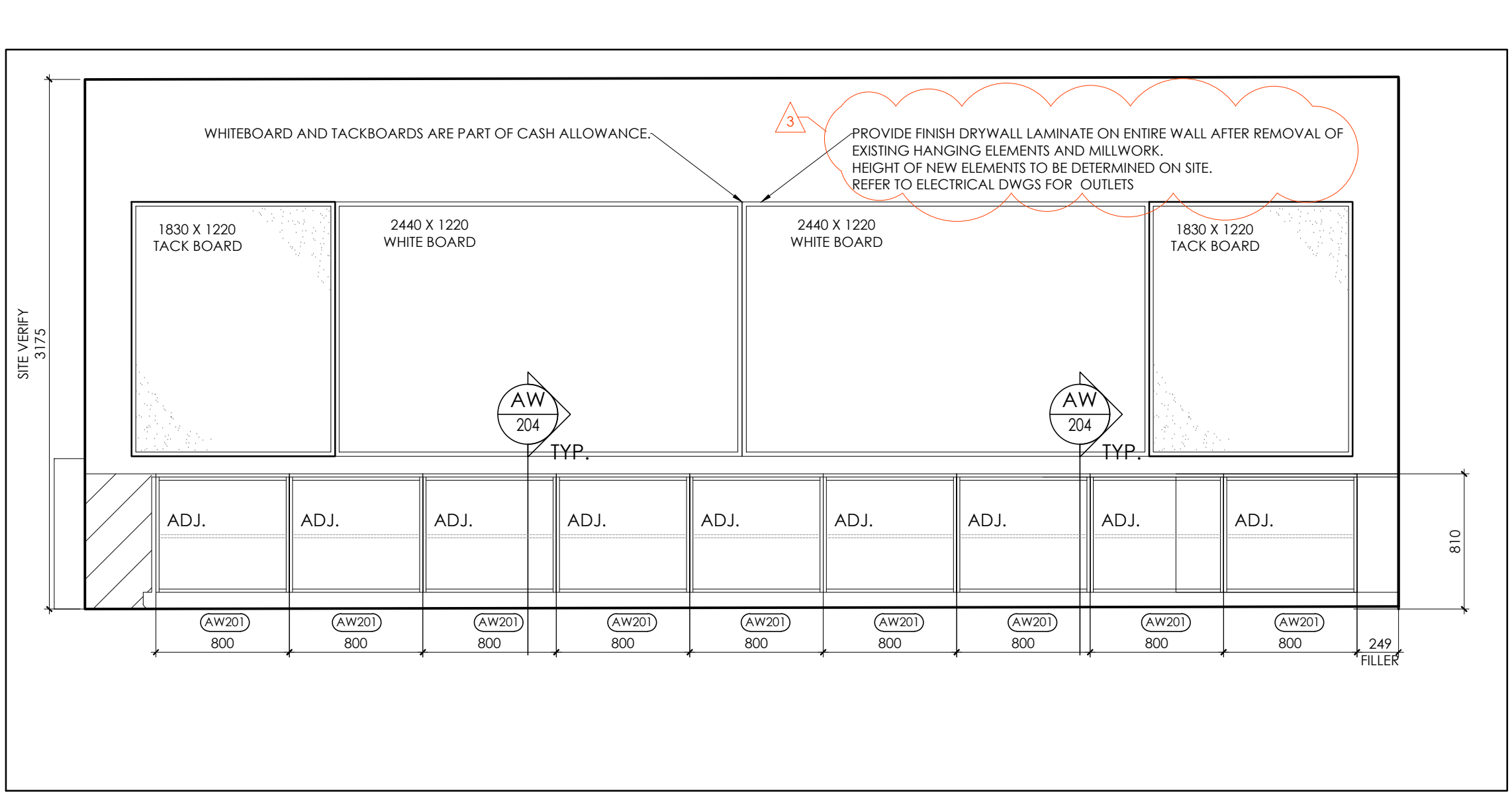
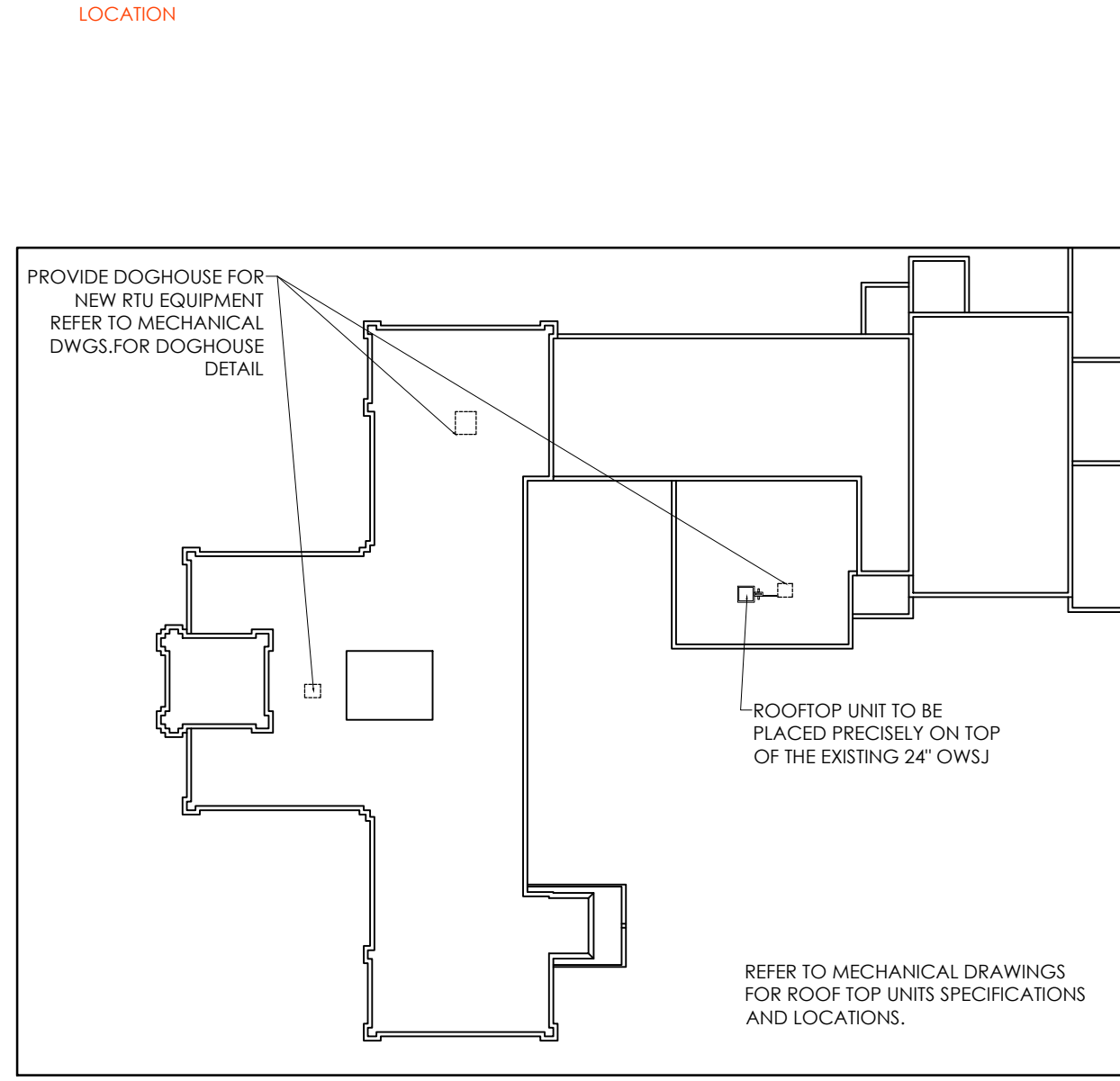
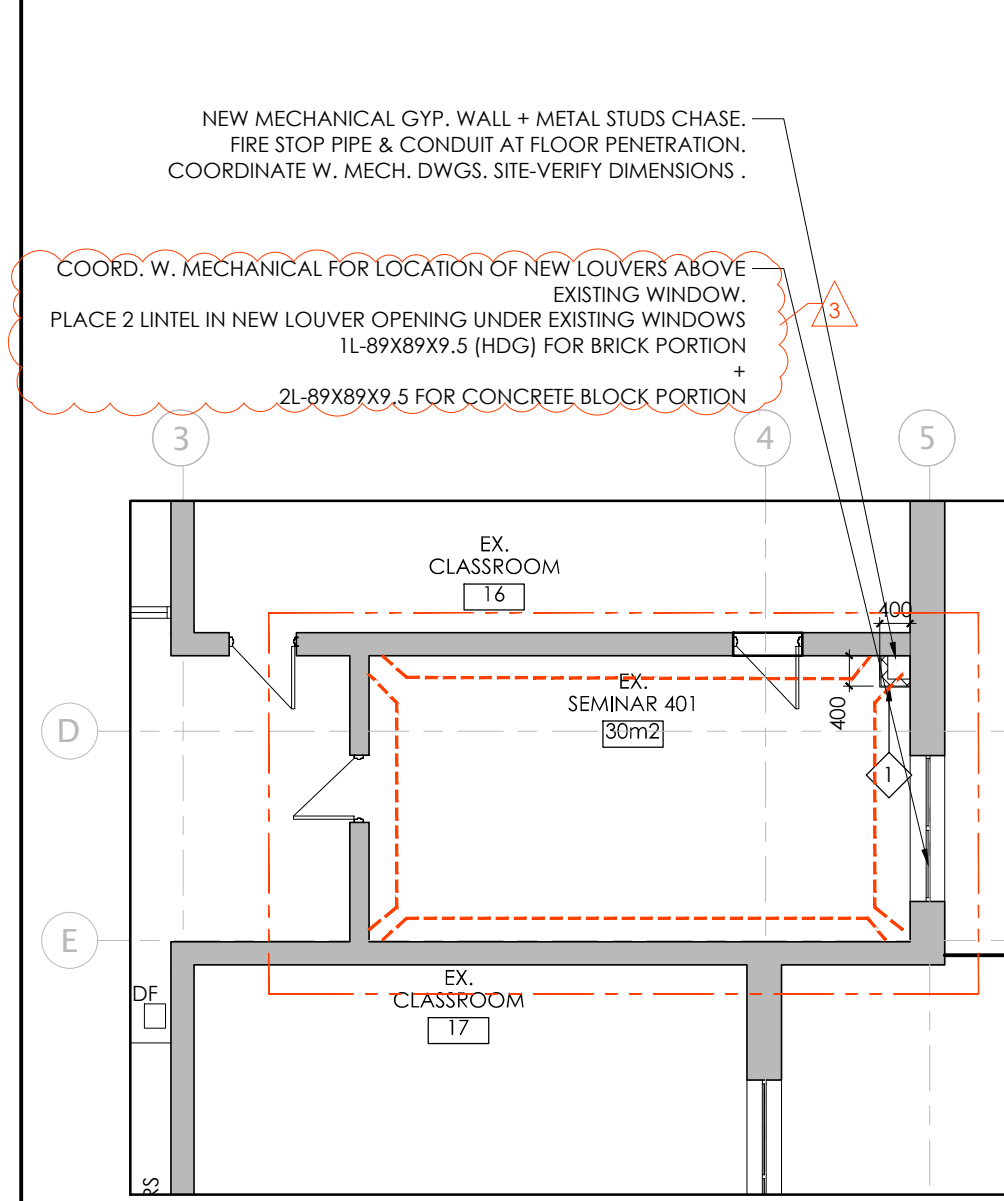
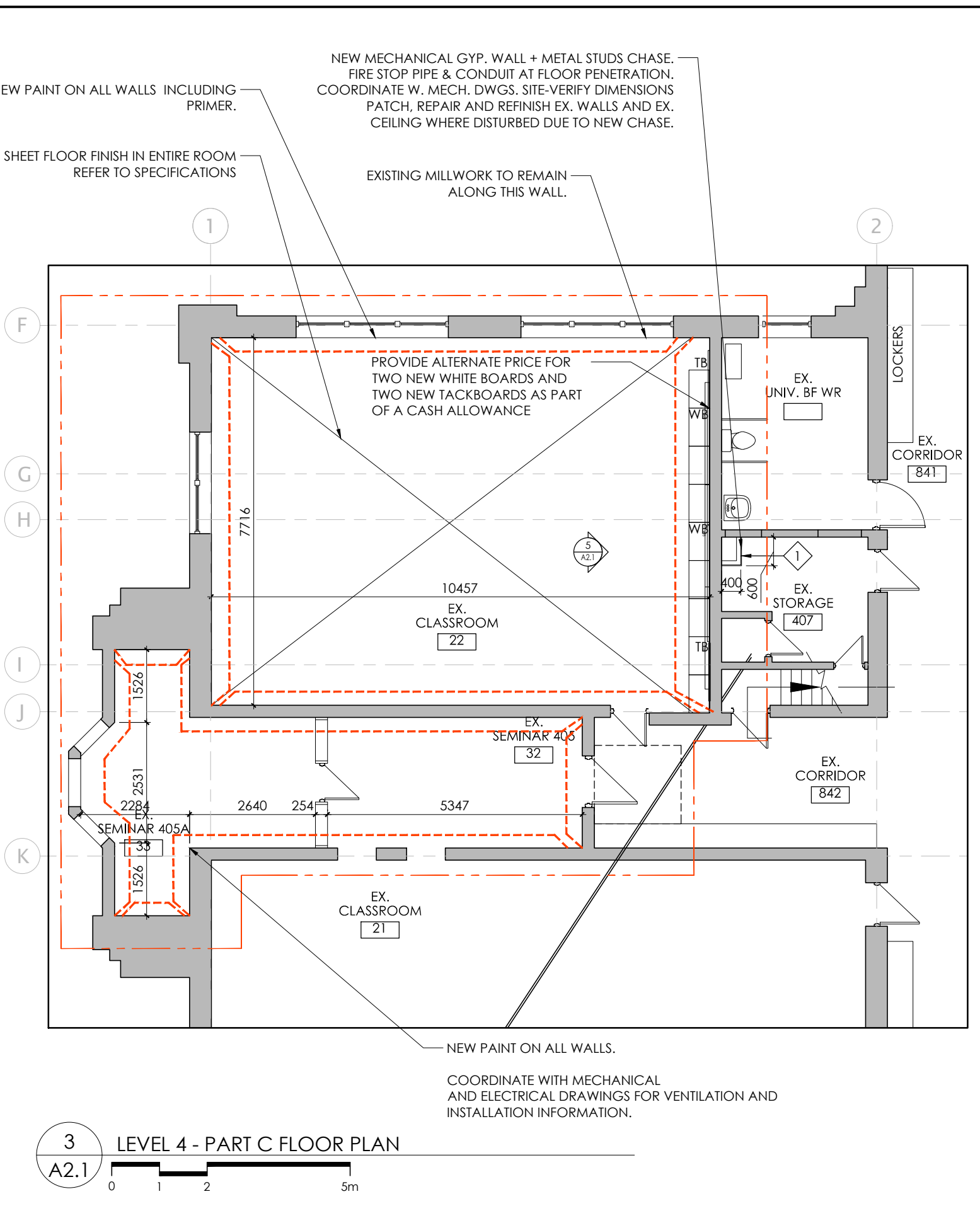
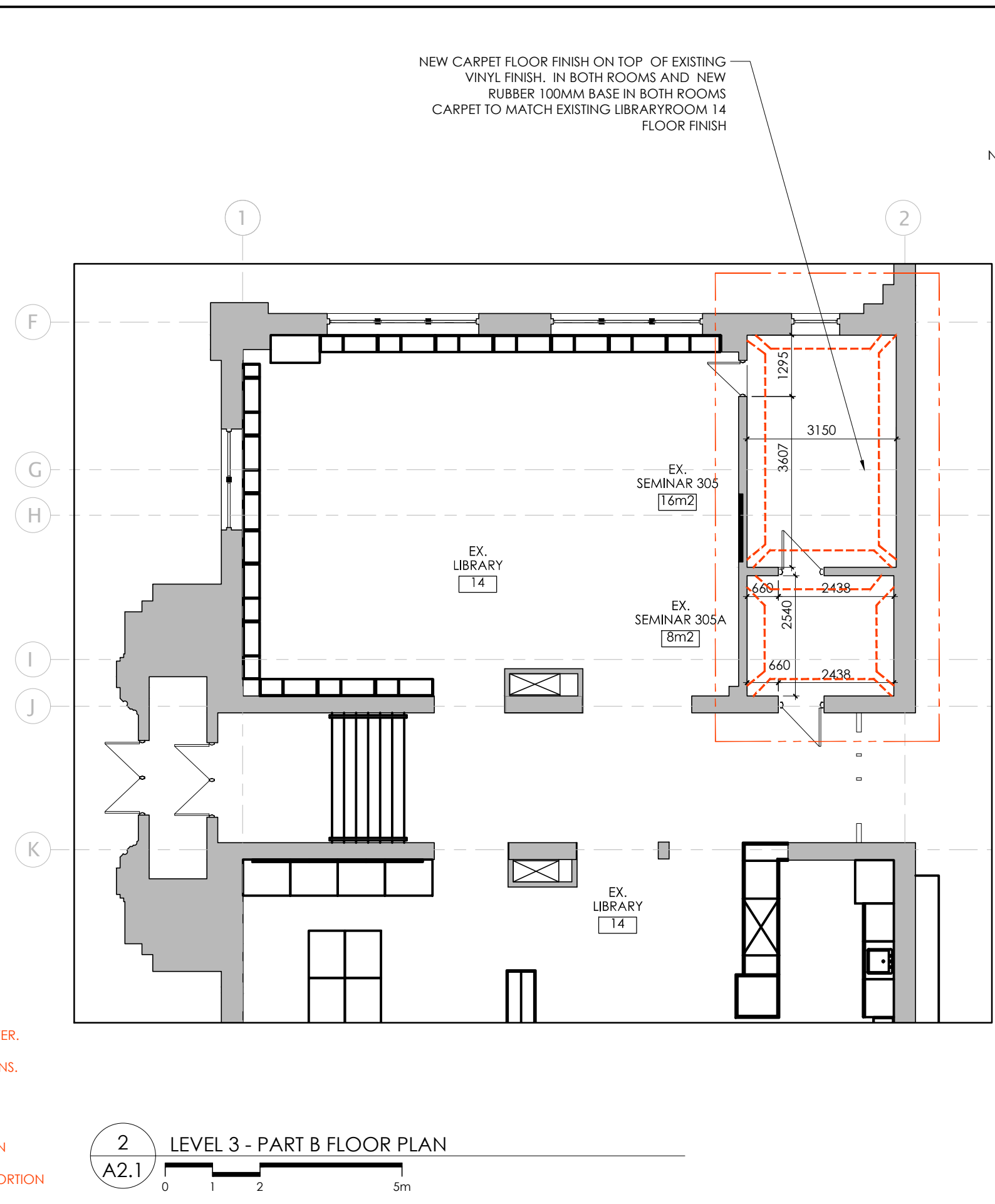
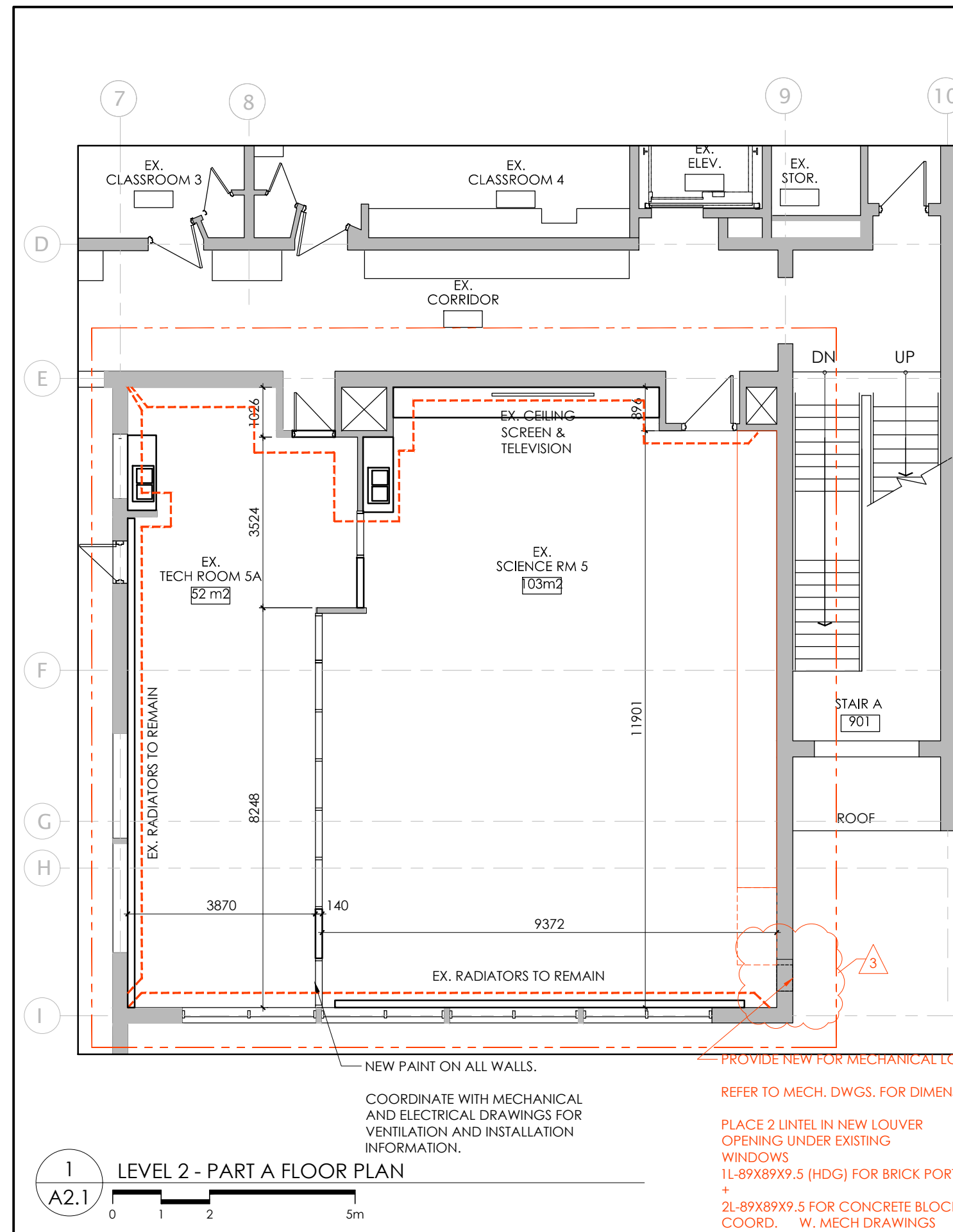
AMENDMENT NO.1 – REVISIONS TO ARCHITECTURAL DRAWINGS

1.
 - i. DELETE drawing **AD2.1 DEMOLITION DRAWING.**
 - ii. REPLACE with attached updated drawing **AD2.1 DEMOLITION DRAWING.**
2.
 - i. DELETE drawing **A2.1 PARTIAL FLOOR PLANS RENOVATIONS**
 - ii. REPLACE with attached updated drawing **A2.1 PARTIAL FLOOR PLANS RENOVATIONS.**

AMENDMENT NO.1 – REVISIONS TO MECHANICAL DRAWINGS

1. Refer to the attached Mechanical Addendum No. 2

End of Addendum #2



ROOM FINISH SCHEDULE

ROOM NAME	WALLS				FLOOR FINISH	BASE	CEILING		HT.	RATED	REMARKS (SEE NOTES)	
	NORTH	SOUTH	EAST	WEST			CLG.	HT.				
SCIENCE ROOM 5	FIN.	P	P	P	EX.	RB	ACT			VARIES	1HR.	MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING. ACT TO BE 1 HR FIRE RATED.
TECH ROOM 5A	FIN.	P	P	P	EX.	RB	ACT			VARIES	1HR.	MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING. ACT TO BE 1 HR FIRE RATED.
LIBRARY SEMINAR 305	FIN.	P	P	P	CAR	RB	ACT			VARIES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
LIBRARY SEMINAR 305A	FIN.	P	P	P	CAR	RB	ACT			VARIES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
SEMINAR 405	FIN.	P	P	P	EX.	RB	ACT			VARIES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
SEMINAR 405A	FIN.	P	P	P	EX.	RB	ACT			VARIES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
SEMINAR 401	FIN.	P	P	P	EX.	RB	ACT			VARIES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
CLASSROOM 22	FIN.	P	P	P	SF.	RB	ACT			VARIES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.

GENERAL NOTES ROOF PLAN NOTES

- CONTRACTOR TO PATCH & REPAIR EX. ROOF DECK AS REQ'D TO PREP EX. SURFACE TO RECEIVE NEW ROOFING. PROVIDE TEMPORARY WATERPROOFING AS REQUIRED UNTIL THE NEW ROOFING MATERIALS ARE APPLIED.
- CONTRACTOR TO RAISE ROOF TOP UNITS AS REQUIRED TO ACHIEVE THE NEW CURB HEIGHT.
- CONTRACTOR TO ENSURE ANY ELECTRICAL/CONTROL CONNECTIONS ARE RE-CONNECTED & OR RE-CONFIGURED TO SUITE NEW ROOF TOP UNIT CURB HEIGHTS AS REQUIRED.
- CONTRACTOR TO DISCONNECT & RECONNECT ANY EXISTING DUCT LINES ATTACHED TO THE EXISTING ROOF TOP UNITS TO ALLOW FOR NEW ROOF INSTALLATION. THIS INCLUDES ANY NEW DUCT CONNECTIONS/EXTENSIONS THAT ARE REQUIRED TO ENSURE PROPER CONNECTION TO THE EXISTING ROOF TOP UNITS & DUCTS.
- CONTRACTOR TO ENSURE ANY GAS LINES CONNECTIONS ARE RE-CONFIGURED TO SUITE NEW ROOF TOP UNITS & CURB HEIGHTS AS WELL AS TO PROVIDE TEMPORARY SUPPORT FOR GAS LINES DURING THE ROOF INSTALLATION. PROVIDE NEW GAS LINE BLOCKING.
- CONTRACTOR TO ENSURE TO PROVIDE PROPER SUPPORT OF EXISTING GAS LINES DURING CONSTRUCTION & PROVIDE NEW GAS LINE SUPPORTS.
- ITEM LOCATIONS SUCH AS PLUMBING VENT STACKS, ELECTRICAL PENETRATIONS, ETC. ARE NOT SHOWN IN DRAWINGS. CONTRACTOR TO ENSURE ALL PIPING/ELEC. & MECH. PENETRATIONS ARE INCLUDED IN SCOPE OF WORK & RE-WORKED.

GENERAL NOTES

- CONTRACTOR TO ENSURE ALL TRADES ARE COORDINATED AS REQUIRED TO PERFORM THE REQUIRED WORK.
- CONTRACTOR TO ENSURE NO DAMAGE OF ANY KIND TAKES PLACE TO THE EXISTING BUILDING. ANY DAMAGE WILL BE REPAIRED BY THE CONTRACTOR. AT NO COST TO THE OWNER. TO MAKE GOOD WHERE DISTURBED & PROVIDE CLEAN TRANSITIONS TYPICAL.
- CONTRACTOR TO REVIEW EXISTING SITE CONDITIONS & ENSURE THEY ARE FAMILIAR WITH THE PROJECT PRIOR TO PLACING A BID IF POSSIBLE. CONTRACTOR TO TAKE NOTE OF EXISTING MECHANICAL SYSTEMS THAT ARE TO REMAIN & BE MODIFIED AS REQUIRED TO INSTALL THE NEW ROOF.
- CONTRACTOR TO ENSURE TO NOTIFY THE OWNER OF ANY SHUT DOWNS OF THE EXISTING ROOF TOP UNIT A MINIMUM OF 3 DAYS PRIOR TO STARTING THE SCHEDULED WORK SO NOT TO DISRUPT THE DAILY OPERATIONS OF THE FACILITY.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ANY PROPOSED EARLY MORNINGS OR AFTER HOURS WORK.
- CONTRACTOR TO MAINTAIN WATERTIGHT ROOF THROUGHOUT ALL PHASES OF CONSTRUCTION.

HATCH IDENTIFICATION MARKER LEGEND

- INDICATES AREA TO BE UPDATED. REFER TO CHART FOR SPECIFIC INTERVENTION REFINISH CEILING AND WALL WHERE DISTURBED DUE TO CONSTRUCTION.
- NEW PAINT FINISH. COLOUR TO BE APPROVED BY OWNER.

GENERAL NOTES

- ALL ITEMS ARE TO BE SECURED TO STRUCTURE ABOVE. IN CASE OF INTERFERENCE WITH DUCTWORK ABOVE PROVIDE SUPPORT USING UNISTRUT FRAMING OR EQUAL.
- FINAL LOCATION OF ANY EXHAUST FANS NOT SHOWN IN ARCH. DWG.'S TO BE COORDINATED WITH MECH & ELEC DRAWINGS.
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS.
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.

TYPICAL FOR ALL AREAS THAT ARE AFFECTED DURING CONSTRUCTION:

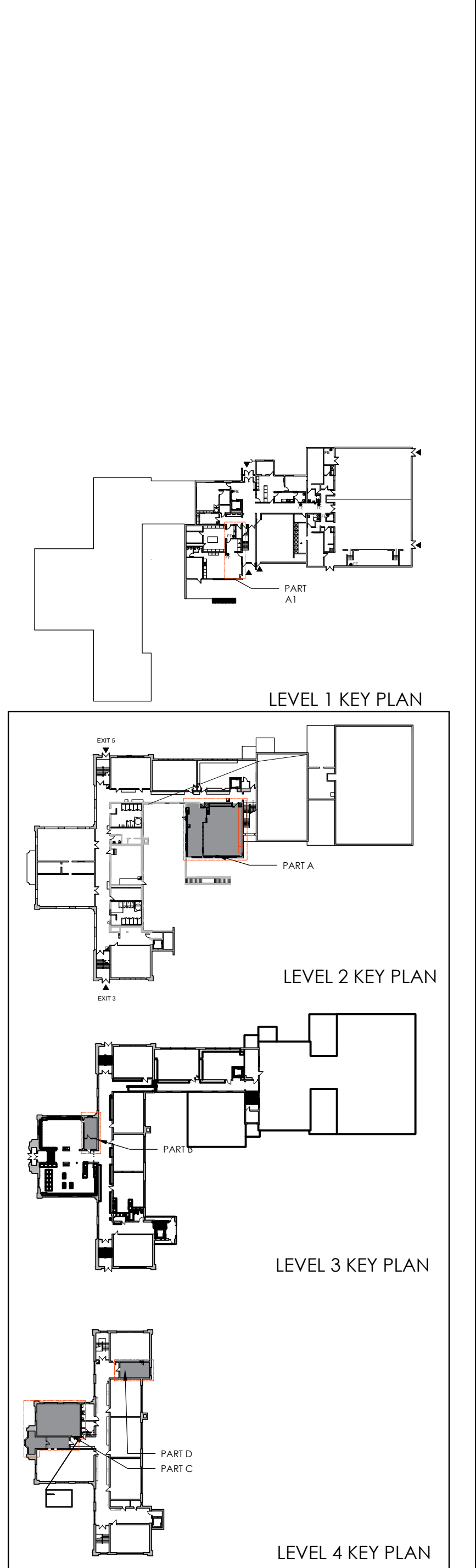
- EXISTING CEILING, FLOORS & WALLS FINISHES & MATERIALS TO REMAIN. PATCH, REPAIR AND MAKE GOOD EXISTING CEILING, FLOORS & WALLS FINISHES MATERIALS WHERE DISTURBED OR DAMAGED TO MATCH & BLEND IN WITH EXISTING MATERIALS & FINISHES TO REMAIN. (TYPICAL)
- PAINTING OF SURFACES INCLUDES DOORS & FRAMES ON BOTH SIDES
- REMOVE EXISTING FINISHES WHERE NEW FINISHES ARE NOTED. MAKE GOOD EXISTING WHERE DISTURBED AND BLEND IN WITH NEW FINISHES AS REQUIRED.
- INSTALL NEW TRADITIONAL 4" JOHNSONITE BLACK RUBBER WALL BASE IN ALL AFFECTED ROOMS.
- PROVIDE ALUMINIUM TRANSITION STRIPS AT ALL DOORWAYS.

LEGEND:

- EX. WALL SYSTEM TO REMAIN
- NEW STUD WALL

NOTE:

- AT LOCATIONS WHERE EXISTING MILLWORK IS REMOVED:
 - PATCH AND REPAIR ENTIRE LENGTH OF WALLS
 - PAINT WALLS



REVISIONS

NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2	2024.04.22	ISSUED FOR PERMIT
3	2024.04.26	ISSUED FOR ADDENDUM No. 1
4	2024.05.06	ISSUED FOR ADDENDUM No. 2

NOTES:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22368
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

VG ARCHITECTS
THE VENIN GROUP LTD

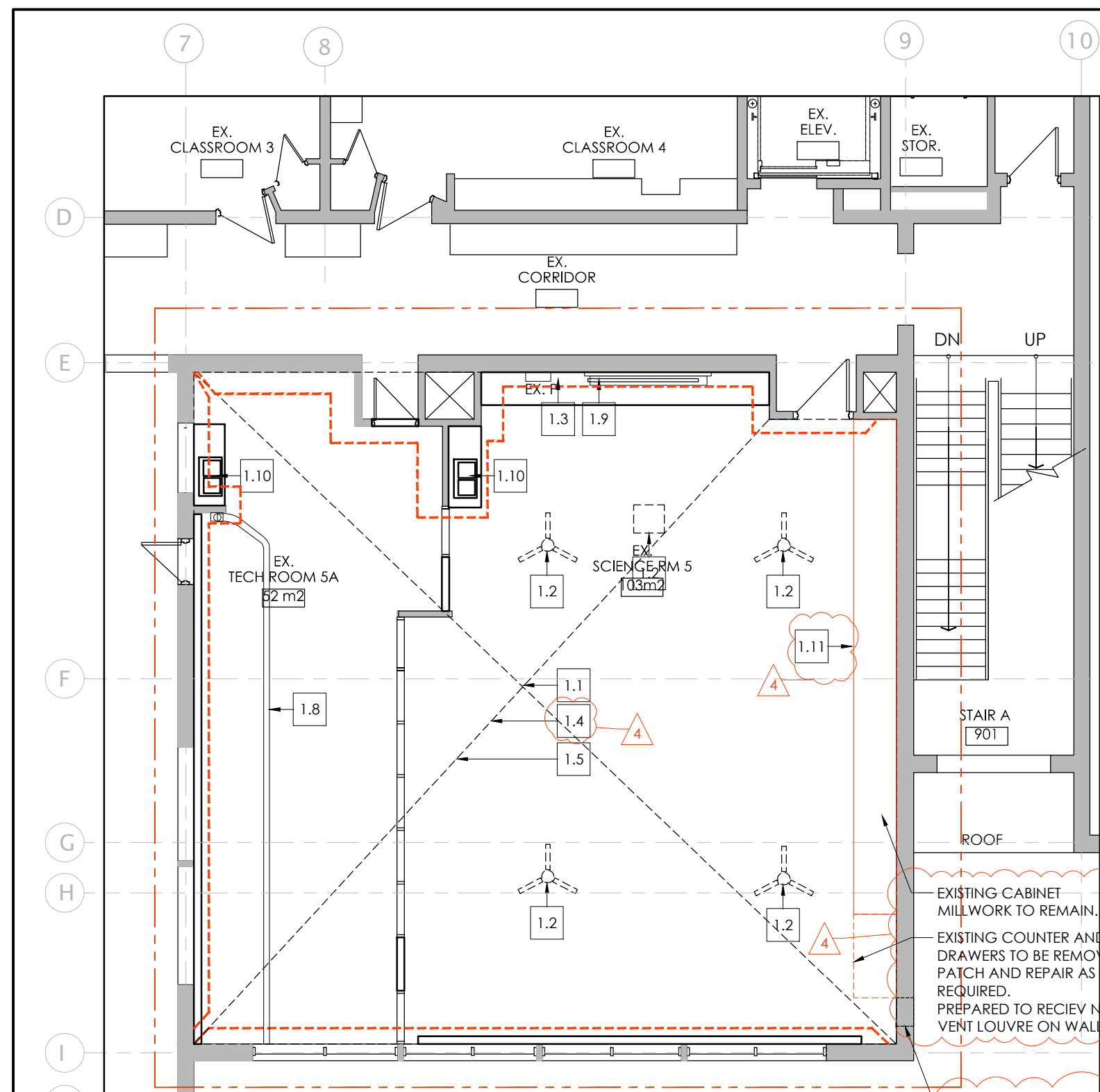
FILENAME: K:\VVG-Bramford\Margaret Ave P5 Ventilation Upgrade-22368 Drawings\Wd-Current\A2.1 LEVEL 2 Floor plan.dwg
Plot Date: May 06, 2024 - 12:19pm By: amonibano

A2.1

DRAWN BY: AM CHECKED BY: TF/KC

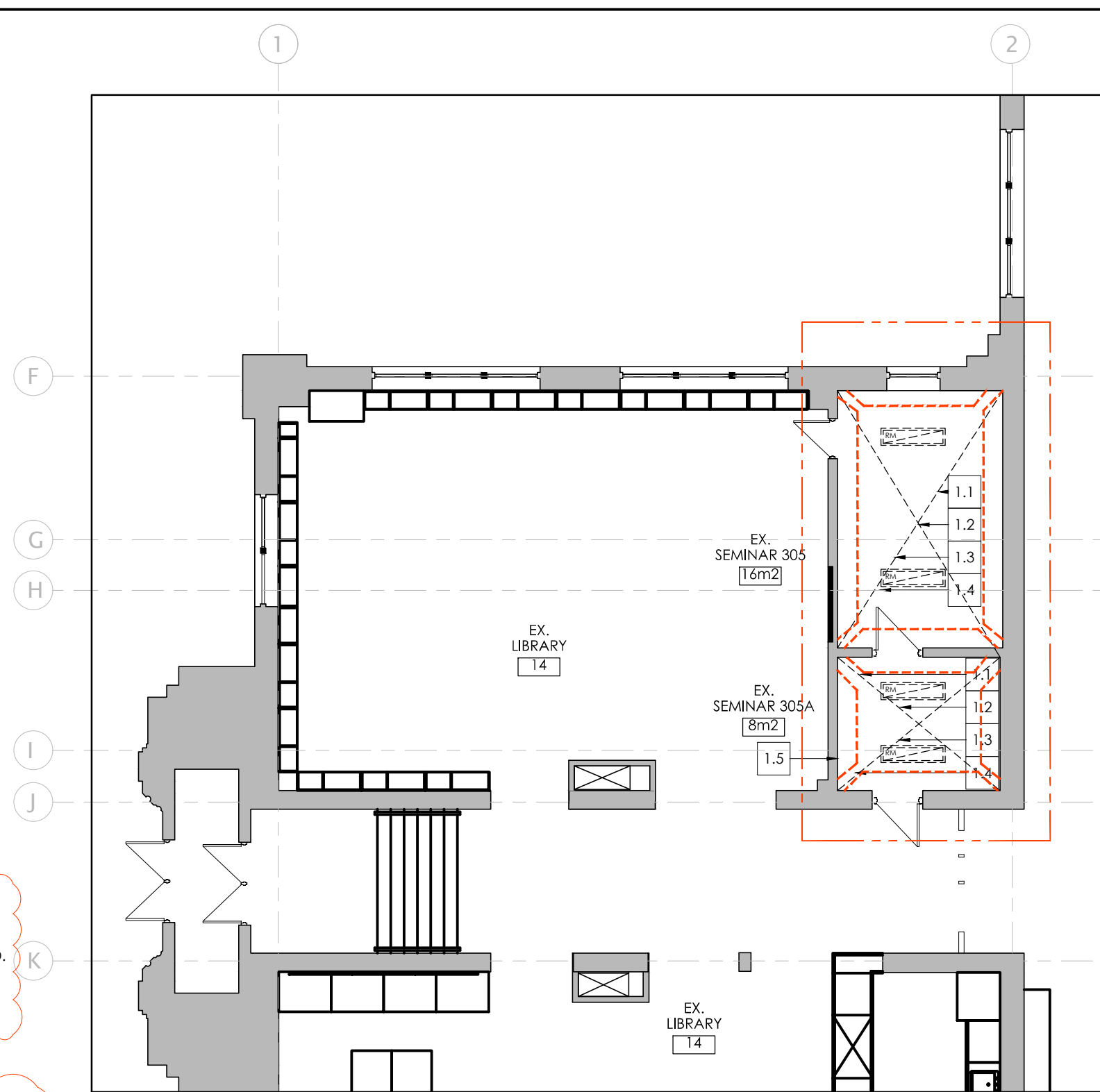
PARTIAL FLOOR PLANS RENOVATION

All dimensions and measurements must be checked and verified by the General Contractor. Reproduction of drawings and related documents in whole or in parts is forbidden without written permission of the Venin Group.



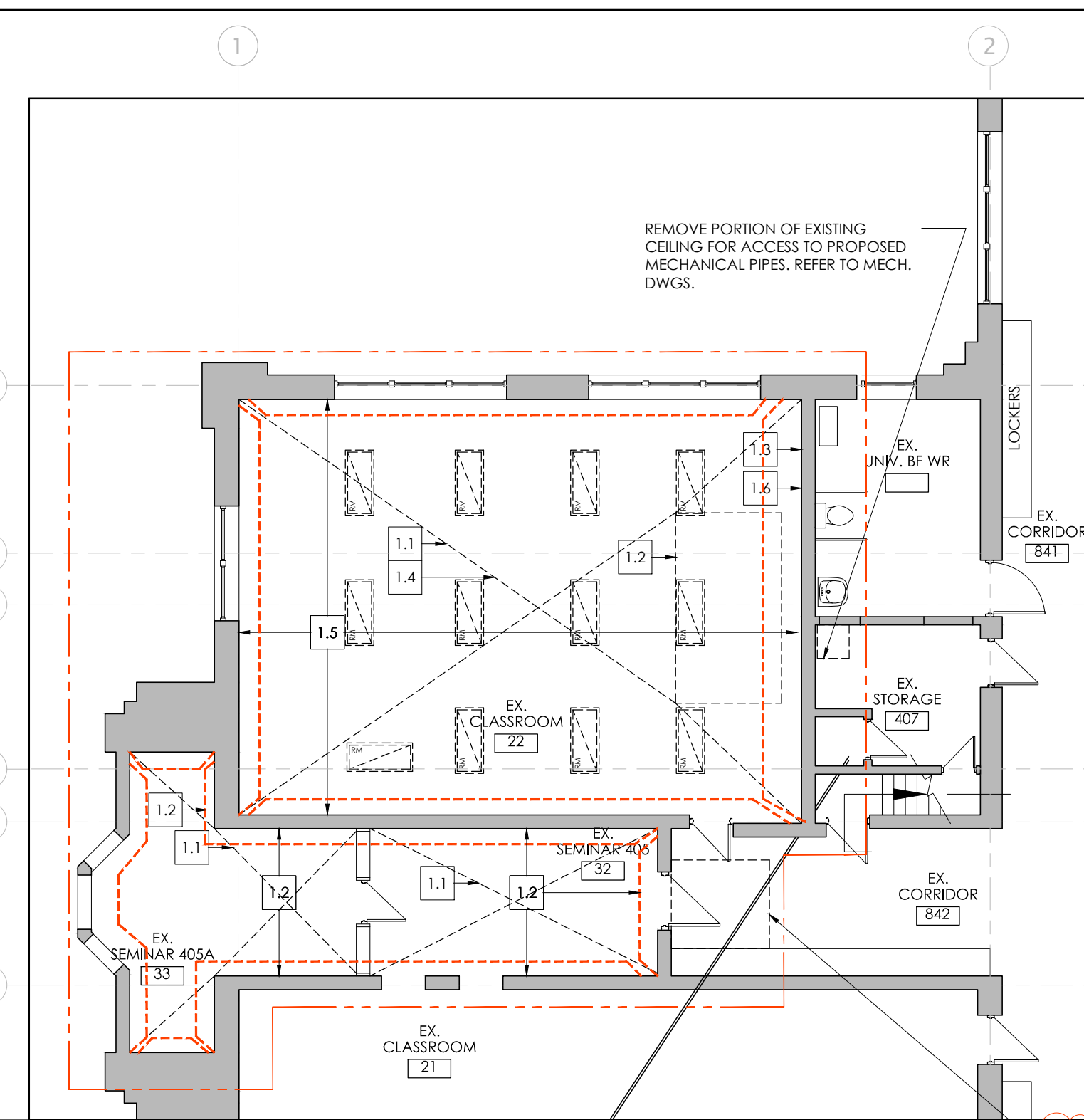
1 LEVEL 2 - PART A DEMO FLOOR PLAN

D2.1 0 1 2 3 4 5m



1 LEVEL 3 - PART B DEMO FLOOR PLAN

D2.1 0 1 2 3 4 5m



3 LEVEL 4 - PART C DEMO FLOOR PLAN

D2.1 0 10 20 30mm

CEILING DEMOLITION NOTES

REMOVE EXISTING CEILINGS INCLUDING BUT NOT LIMITED TO ACT / T BAR GRID, BULKHEADS, MSC, FRAMING & ASSOCIATED MECHANICAL / ELECTRICAL (COORD. W/ MECH. & ELEC. DWG.S) EXISTING GYPSUM BOARD / SHEETROCK SECONDARY / UPPER CEILINGS REQUIRED FOR FIRE RATED PROTECTION TO REMAIN WHERE IT EXISTS TYPICAL.

NOTE: REMOVE EX. CEILINGS AS REQ. D TO INSTALL ANY NEW WORK FOR ANY TRADE ABOVE AS REQ. D. RE-INSTALL EX. CEILING WHERE ABLE. INSTALL CEILING & PAINT TO MATCH ADJ. WHERE REQ. D. PROVIDE CLEAN TRANSITIONS. MAKE GOOD WHERE DAMAGED / DISTURBED TYP.

COORD. W. ELECTRICAL AND MECHANICAL DRAWINGS FOR ANY ADDITIONAL AREAS WHERE CEILING IS TO BE REMOVED NOT INDICATED IN THE ARCHITECTURAL DRAWINGS AS PART OF THE SCOPE OF THIS PROJECT AND CONTRACT.

HATCH IDENTIFICATION MARKER LEGEND

ALL ITEMS INDICATED W/ A DASHED LINE (DARKER LINE WEIGHT) ARE CONSIDERED TO BE REMOVED BY THIS CONTRACT. ITEMS INDICATED DO NOT NECESSARILY ENTAIL ALL ITEMS TO BE REMOVED - COORD. W/ ALL CONST. DOCUMENTS & CONSULTANT DWG.S FOR NEW WORK THAT REQUIRES DEMO OF ANY EXISTENT

- - - EX. TO BE DEMOLISHED / REMOVED
- - - - - EXTEND OF WALL TO BE RENOVATED REMOVE PAINTING FROM WALL AND PREP FOR NEW FINISH
- - - - - INDICATES AREA TO BE UPDATED. REFER TO ROOM FINISH SCHEDULE REFINISH CEILINGS AND WALL WHERE DISTURBED DURING CONSTRUCTION

COORDINATE WITH MECHANICAL DWGS. FOR LOCATION OF PIPING THROUGH ROOF.
PATCH AND REPAIR ANY DISTURBED CEILINGS IN AREA TO ACCESS ROOFTOP PIPE OPENING.

SPECIFIC DEMOLITION NOTES 1/D2.1

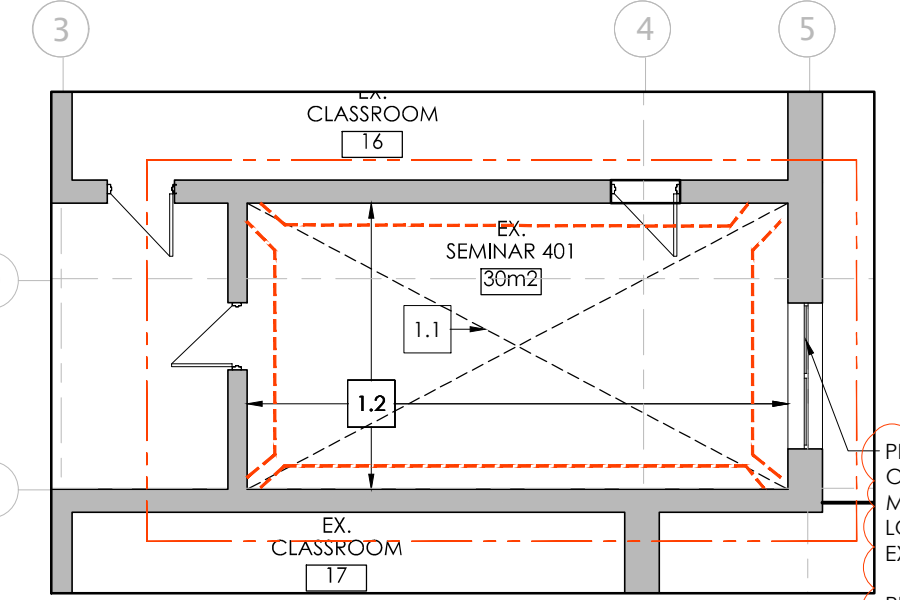
- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL
 - 1.2 REMOVE AND SAFELY STORE EXISTING CEILING FANS A PROJECTOR FOR REUSE.
 - 1.3 REMOVE EXISTING WHITE BOARDS AND TACKBOARD. STORE AND COORDINATE WITH THE SCHOOL BOARD FOR RELOCATION, TRANSPORTATION AND STORAGE AS PART OF THE SCOPE OF WORK.
 - 1.4 FLOOR IS TO REMAIN AS IS
 - 1.5 MAKE ALL WALLS AND FLOOR GOOD TO RECEIVE NEW WALL FINISH.
 - 1.6 REMOVE AND DISPOSE OF EXISTING PEG BOARDS IN LAB. COORD. W. THE BOARD. PROVIDE 3 NEW PEGBOARDS. 1220 X1800mm. COORD. HEIGHT MOUNTING ON SITE
 - 1.7 REMOVE AND DISPOSE OF EXISTING WHITE BOARDS IN LAB. PROVIDE 4 NEW WHITEBOARDS 1200X1800mm. COORDINATE LOCATION ON SITE.
 - 1.8 EXISTING DUST COLLECTOR DUCTWORK TO BE EXPOSED BELOW NEW CEILING COORDINATE WITH ELECTRICAL AND MECHANICAL FOR LOCATION OF FIXTURES.
 - 1.9 SAFELY REMOVE AND STORE TELEVISION AND PROJECTOR SCREEN. TO BE REINSTALLED AS PART OF THE BASE BID.
 - 1.10 EX. SINK AND MILLWORK TO REMAIN
 - 1.11 REFER TO UPDATED NOTE ON DRAWING
- MECH. / ELEC. NOTES**
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC.). (COORD. W/ MECH. DWGS.)
COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATION OF ALL ELECTRICAL AND MECHANICAL EQUIPMENT.
- MILLWORK** EXISTING MILLWORK/SHELVES TO REMAIN

SPECIFIC DEMOLITION NOTES 2/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL
 - 1.2 EXISTING FLOOR FINISH IS TO REMAIN IN ROOMS 305 AND 305A. PREP AND LEVEL AS REQUIRED TO RECEIVE NEW CARPET FLOOR FINISH.
 - 1.3 EXISTING FIXED MILLWORK TO REMAIN
 - 1.4 PATCH AND REPAIR WALLS. PREP TO RECEIVE NEW WALL PAINTING.
 - 1.5 EXISTING DATA CENTER COORDINATE WITH ELECTRICAL DWGS.
- MECH. / ELEC. NOTES**
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC.). (COORD. W/ MECH. DWGS.)
- MILLWORK** EXISTING MILLWORK/SHELVES TO REMAIN

SPECIFIC DEMOLITION NOTES 3/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL
 - 1.2 REMOVE AND DISPOSE OF EXISTING PODIUM AND EXISTING PLUMBING CONNECTIONS AND ALL SERVICE INSTALLATION. CAP AND SEAL PIPES AS REQUIRED. REFER TO MECHANICAL AND ELECTRICAL DWGS.
 - 1.3 REMOVE EX. CHALK BD.S, SMART BD.S, TACK BD.S, WHITE BD.S TO BE TURNED OVER TO OWNER UNLESS BEING RE-USED. COORDINATE WITH THE SCHOOL BOARD FOR RELOCATION, TRANSPORTATION AND STORAGE AS PART OF BASE BID TENDER PRICE.
 - 1.4 REMOVE EX. FIN. FLRNG., INCLUDING BUT NOT LIMITED TO FIN. FLRNG., UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO CONC. SUBFLR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH. ENSURE ALL NEW & EX. VARIATIONS IN FLR. HEIGHT WITHIN THE SCOPE OF WORK. HOWEVER MINOR ARE FEATHERED & LEVELED TO PROVIDE A SLOPE OF NOT MORE THAN 10MM/3000MM.
 - 1.5 REMOVE ALL ELEMENTS HANGING FROM WALL. PATCH AND REPAIR WALLS. PREP TO RECEIVE NEW WALL PAINTING.
 - 1.6 REMOVE EXISTING MILLWORK AGAINST THIS WALL. PATCH AND REPAIR WALL TO RECEIVE NEW FINISH AND MILLWORK
- MECH. / ELEC. NOTES**
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC.). (COORD. W/ MECH. DWGS.)

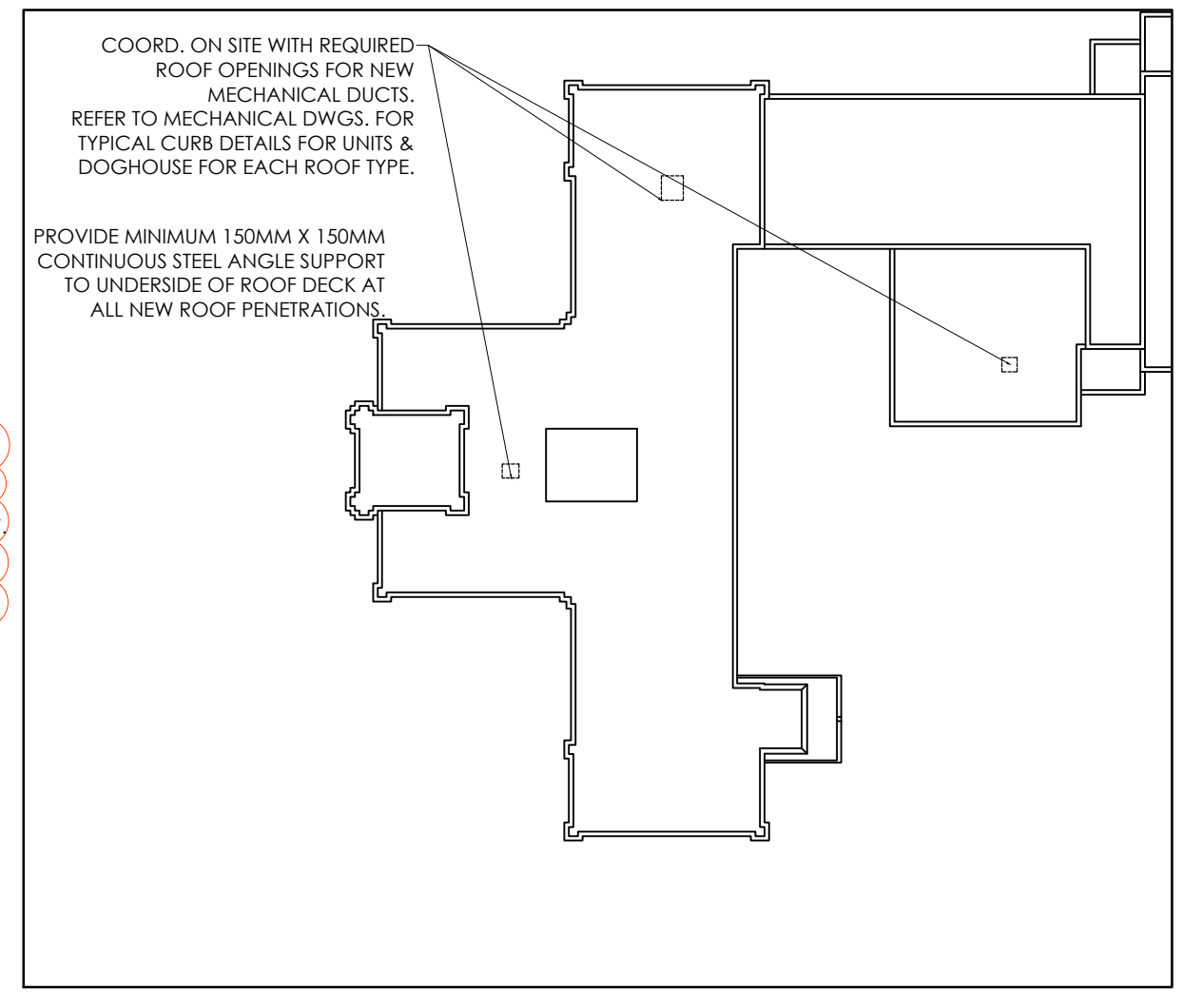


4 LEVEL 4 - PART D DEMO FLOOR PLAN

D2.1 0 10 20 30mm

SPECIFIC DEMOLITION NOTES 4/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL
 - 1.2 PATCH AND REPAIR WALLS. PREP TO RECEIVE NEW WALL PAINTING.
- MECH. / ELEC. NOTES**
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC.). (COORD. W/ MECH. DWGS.)

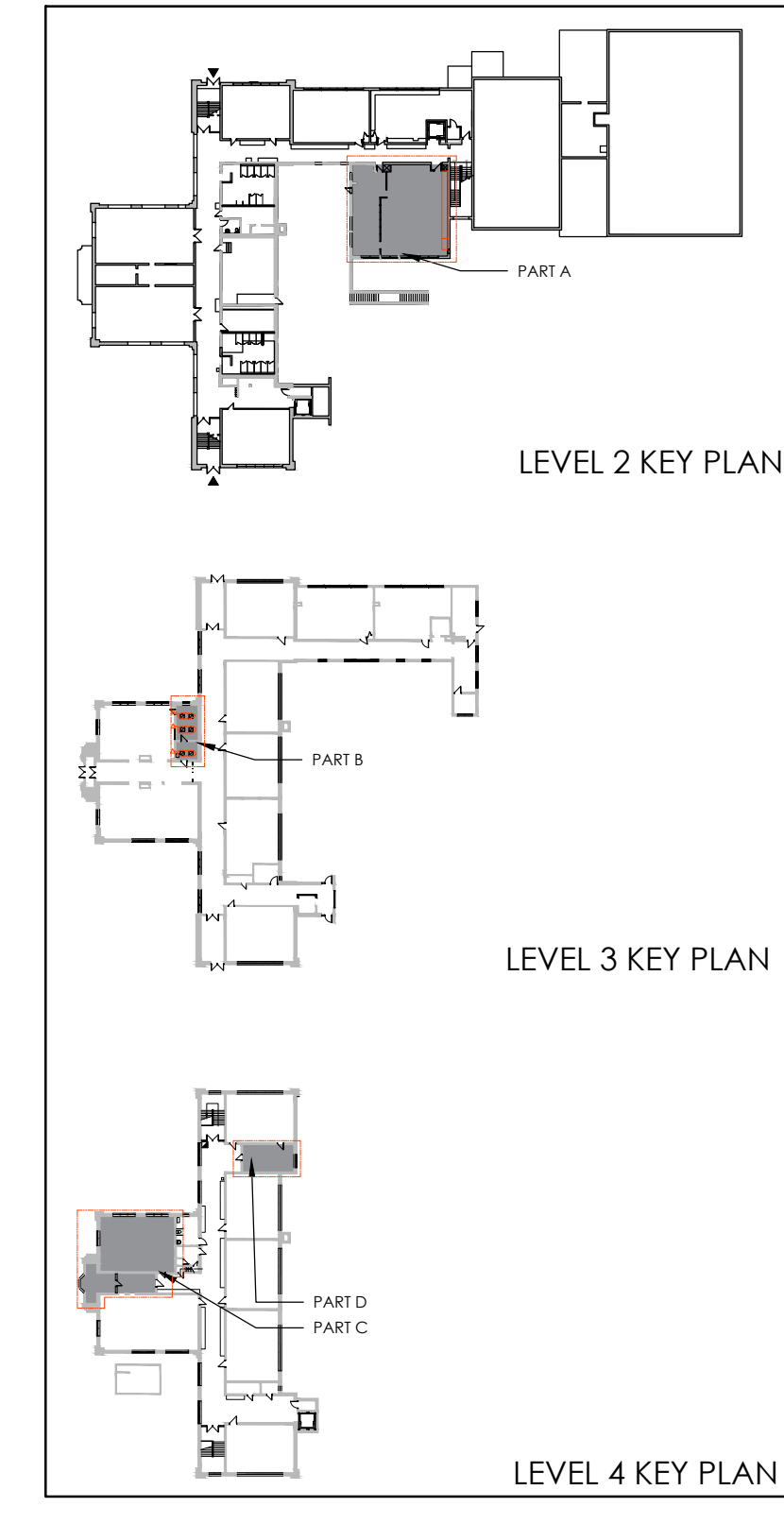


5 ROOF DEMO PLAN

AD2.1 0 5 10 25m

GENERAL DEMOLITION NOTES

- CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE TO DETERMINE COMPLETE SCOPE OF WORK (COORD. W/ EX. ALL OTHER DWG.S)
- CONTRACTOR TO SECURE THE WORK SITE DURING DEMO & CONST. & HOARD OFF THE WORK AREA TO PREVENT ACCESS FROM ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION / CONST. SCOPE
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EX. BLDG. TO REMAIN / REPLACE & TO REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- CONTRACTOR TO HOARD OFF DEMO. AREA TO PREVENT ACCESS FROM ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION SCOPE
- CONTRACTOR TO HOARD OFF ALL EXPOSED DOORWAYS AND CORRIDOR OPENINGS INTO THE REMAINING AREAS OF THE EXISTING BUILDING. HOARDING TO PROVIDE WEATHER-TIGHT CLOSURE TO PREVENT RAIN, SNOW OR ANY OTHER SOURCE OF MOISTURE INTO THE EXISTING BUILDING. CONTRACTOR TO REPLACE AND/OR REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EXISTING BUILDING WHICH WERE NOT PREVIOUSLY EXPOSED TO WEATHER FROM WEATHER AND MOISTURE. CONTRACTOR TO REPLACE AND/OR REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- MAKE GOOD ALL DISTURBED SURFACES & ADJACENT SYSTEMS THAT ARE DAMAGED AND THAT ARE TO REMAIN. PROVIDE CLEAN TRANSITIONS TYPICAL.
- MAINTAIN SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING @ ALL TIMES TO & FROM THE BLDG. & PROVIDE PROTECTION TO THE PUBLIC FROM FALLING DEBRIS & CONST. TRAFFIC & POST SIGNAGE AS REQ. D.
- CONTRACTOR TO OBTAIN LOCATES FOR ALL UNDERGROUND & O/H SERVICES ON BOTH EXT. & INT. OF PROPERTY / BOUNDARY / SCOPE OF WORK LINES PRIOR TO ANY DIGGING / EXCAVATION / WORK (COORD. W/ SITE SERVICE & EX. SITE SURVEY DWG.S)
- CONTRACTOR TO INCLUDE REMOVAL AND TERMINATION OF ANY EX. SERVICES CONNECTED TO THE EXISTING BUILDING / LOCATED IN SCOPE OF WORK TO BE DEMOLISHED / OR RELOCATED INCLUDING ANY NECESSARY PERMITS OR UTILITY FEES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ALL MATERIALS THAT ARE DEMOLISHED & THAT ARE NOT INDICATED FOR RE-USE / RECLAIMING / SALVAGING OR AS OTHERWISE INDICATED BY THE OWNER. ALL COSTS ARE PART OF BASE BID SUBMISSION IN ACCORDANCE W/ BEST CONSTRUCTION PRACTICE, OBC, MUNICIPAL & PROVINCIAL LEGISLATURE REGARDING DEMOLITION & DISPOSAL METHODS (RECYCLE ALL MATERIALS WHERE ABLE) & ANY LEED REQUIREMENTS ALSO SPECIFIED UNDER THIS DOCUMENT.



REVISIONS		
NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2	2024.04.22	ISSUED FOR PERMIT
3	2024.04.26	ISSUED FOR ADDENDUM No. 1
4	2024.05.06	ISSUED FOR ADDENDUM No. 2

NOTES:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22368
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9
ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

VG ARCHITECTS
THE VENTIN GROUP LTD

D2.1

All dimensions and related documents in whole or in part is forbidden without written permission of the Ventin Group.

DEMOLITION DRAWING.

May 2, 2024

Client: +VG The Ventin Group Architects Ltd.
50 Dalhousie Street
Brantford, ON N3T 2H8

RE: Margaret Ave. Public School Renovations
Kitchener, ON

Job #: 23282

Attn: Ariosto Montisano

ADDENDUM 02

MECHANICAL

Item 1

- 1.0 Reference Drawing M1.1 and Attached Sketch AD02-M01
- .1 In air cooled condensing unit schedule, revise as per attached sketch AD02-M01.
 - .2 In split air conditioning unit schedule, revise as per attached sketch AD02-M01.

ELECTRICAL

Item 1

- 1.0 Reference Drawing E1.1
- .1 In the equipment wiring schedule, revise the ratings of the following equipment:
 - .1 CU-4: 12.3 MCA, 15 MOCP
 - .2 CU-5: 12.3 MCA, 15 MOCP
 - .3 CU-6: 12.3 MCA, 15 MOCP

Item 2

- 2.0 Reference Drawing E3.1
- .1 Revise breakers for CU-4, CU-5, and CU-6 to 15A-2P breakers and revise feeders to 2#12 T90 Cu in 21mmC.

Niccole Tudose

Niccole Tudose (she/her)

Senior Mechanical Designer

23282 Addendum 02 (M&E- Air Conditioning Schedule Revisions)(AD02-M01) May 2 24
ap/nt/mc



AIR COOLED CONDENSING UNIT SCHEDULE

Item	Type	Tons	Capacity MBH	Compressor			Refrig.	Sat. Suction Temp °F	No. of Cond. Fans	Electrical			Unit Weight lbs	Manufacturer	Model	Remarks
				Type	No.	No. Stages				Voltage	MCA	MOCP				
CU-2	OUTDOOR ROOF MOUNTED	1.5	18	SCROLL	1	1	R410A	52	1	208/1/60	20.0	30	160±	LG	LUU189HV	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-3	OUTDOOR ROOF MOUNTED	1.5	18	SCROLL	1	1	R410A	52	1	208/1/60	20.0	30	160±	LG	LUU189HV	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-4	OUTDOOR ROOF MOUNTED	1.0	12	SCROLL	1	1	R410A	52	1	208/1/60	12.3	15	160±	LG	LUU127HV	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-5	OUTDOOR ROOF MOUNTED	1.0	12	SCROLL	1	1	R410A	52	1	208/1/60	12.3	15	160±	LG	LUU127HV	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-6	OUTDOOR ROOF MOUNTED	1.0	12	SCROLL	1	1	R410A	52	1	208/1/60	12.3	15	160±	LG	LUU127HV	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-12	OUTDOOR ROOF MOUNTED	4.0	48	SCROLL	1	1	R410A	52	1	208/1/60	40.0	30	225±	DAIKIN	DX16SA048	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL. CONNECT TO UV-12.

* ACCEPTABLE MANUFACTURERS: DAIKIN, TRANE, MITSUBISHI

SPLIT AIR CONDITIONING UNIT SCHEDULE

Item	Capacity (Tons)	Refrig.	Unit Weight lbs	Max. O.A. (cfm)	MCA	MOCP	Voltage	Manufacturer & Model	Remarks
DS-2	1.5	R410A	55±	60	1	15	208/1/60	LG LCN188HV4	INTERLOCK TO CU-2. PROVIDE POWER FROM CU-2, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK40+420 VENTILATION KIT, & CONDENSATE PUMP
DS-3	1.5	R410A	55±	60	1	15	208/1/60	LG LCN188HV4	INTERLOCK TO CU-3. PROVIDE POWER FROM CU-3, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK40+420 VENTILATION KIT, & CONDENSATE PUMP
DS-4	1	R410A	55±	60	1	15	208/1/60	LG LCN128HVA	INTERLOCK TO CU-4. PROVIDE POWER FROM CU-4, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK40+420 VENTILATION KIT, & CONDENSATE PUMP
DS-5	1	R410A	55±	60	1	15	208/1/60	LG LCN128HVA	INTERLOCK TO CU-5. PROVIDE POWER FROM CU-5, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK40+420 VENTILATION KIT, & CONDENSATE PUMP
DS-6	1	R410A	55±	60	1	15	208/1/60	LG LCN128HVA	INTERLOCK TO CU-6. PROVIDE POWER FROM CU-6, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK40+420 VENTILATION KIT, & CONDENSATE PUMP